

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 March 2020
	REPORT OF:	HEAD OF PLANNING
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AGENDA ITEM:	5	WARD: <i>Nork</i>

APPLICATION NUMBER:	19/02572/F	VALID:	20/12/2019
APPLICANT:	Aims Care Ltd	AGENT:	Architected Design Ltd
LOCATION:	TANGLEWOOD HOUSE, 286, FIR TREE ROAD, EPSOM DOWNS		
DESCRIPTION:	Demolition of existing dwelling house (Use Class C3 - residential dwelling) and ancillary garage and erection of private residential care home, with communal facilities and parking (Use Class C2 residential institution). As amended on 26/02/2020.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the proposed floorspace is greater than 250sqm.

SUMMARY

The application site is situated within the urban area where there is a presumption in favour of sustainable development. Planning permission is sought for the demolition of the existing dwelling on the site and the erection of a 2 storey building (with a basement) to be used as a residential care home for 8 residents, with 6 parking spaces, a minibus parking space, landscaping and amenity space. The basement area would contain communal and ancillary accommodation.

The use of the site for a residential care home would be compatible with the residential character of the area. The proposed building, although of a larger footprint than the existing dwelling would be of a similar height and would retain reasonable separation to the site boundaries and to neighbouring properties. To the front of the building would be parking areas, whilst existing trees on the site frontage would be retained to provide a landscaped setting to the development.

Due to the separation distances to the site boundaries and the arrangement of rooms within the building, the amenities of residents in neighbouring properties would not be significantly affected by the proposed development. There would be

space around the new building for meaningful landscaping which would help to integrate the proposal on the surrounding area and maintain the character.

The proposed development will help to meet an identified need for residential care facilities in the Borough in a suitable location.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: The proposed development has been considered by the County Highway Authority who having assessed the application on safety, capacity and policy grounds, recommends that conditions be imposed relating to the provision of the parking and turning area prior to occupation, the provision of an electric vehicle charging point and the provision of a construction transport management plan in any permission granted.

Environmental Health (Contaminated Land): No objections but recommend that a condition be imposed requiring confirmation that the building was built post-2000, or that an asbestos survey is provided prior to any demolition or refurbishment.

Representations:

Letters were sent to neighbouring properties on 8th January 2020.

4 responses have been received raising the following issues:

Issue	Response
No need for the development	See paragraph 6.4 – 6.6
Noise & disturbance	See paragraph 6.26
Inconvenience during construction	See paragraph 6.24
Out of character with surrounding area	See paragraph 6.6 – 6.11
Hazard to highway safety	See paragraph 6.18 – 6.20
Loss of buildings	See paragraph 6.2
Overbearing relationship	See paragraph 6.13 – 6.17
Overlooking and loss of privacy	See paragraph 6.13 – 6.17
Overshadowing	See paragraph 6.13 – 6.17
Loss of/harm to trees	See paragraph 6.9
Loss of private view	See paragraph 6.26
Property devalue	See paragraph 6.26

1.0 Site and Character Appraisal

- 1.1 The application site consists of Tanglewood House, a detached dwelling located on the south-eastern side of Fir Tree Road with mature trees and hedging along the frontage. Levels drop down at the rear of the site toward properties within Mimosa Close. Properties in Mimosa Close are at a lower level than the application site.
- 1.2 The Council's Local Distinctiveness Design Guide identifies the area as one of 1930s-1950s Suburbia. Fir Tree Road is characterised by linear development with dwellings set back from the highway frontage. No 286

formerly had along rear garden, part of which was severed to facilitate the residential development of Mimosa Close. The rear garden also formerly contained a number of trees and hedging on the boundaries, although much of this had been removed at the time of the case officer's visit.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: the applicant did not approach the Council for pre-application advice and therefore the opportunity to secure improvements did not arise. However, a previous application on the site (ref: 19/02109/F) was withdrawn following the receipt of adverse comments. The current application seeks to address the objections raised to the previous proposal.
- 2.2 Improvements secured during the course of the application: Further details on vehicle tracking have been submitted at the request of the highways authority.
- 2.3 Further improvements could be secured through the use of conditions and a legal agreement to secure affordable housing provision.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|------------|--|--|
| 3.1 | 19/02109/F | Demolition of existing detached dwellinghouse and detached garage building (Use class C3) and erection of a detached two storey residential care home, with communal facilities and parking (Use Class C2). | Withdrawn |
| 3.2 | 14/01338/F | Erection of five dwellings with associated access and landscaping | Withdrawn |
| 3.3 | 14/01301/F | Erection of 6 dwellings and associated parking/garaging and access via the development under reference 14/00514/F | Granted
01/04/2015 |
| 3.4 | 13/00089/F | Demolition of nos. 286 & 288 Fir Tree Road and erection of 5 pairs of semi-detached dwellings, 2 detached dwellings, 1 linked detached dwelling and garages (13 dwellings in total), together with access from Fir Tree Road and landscaping | Refused
03/ May 2013 &
Dismissed on
appeal in March
2014 |

4.0 Proposal and Design Approach

- 4.1 This is a full application for the demolition of existing detached private dwelling house and the ancillary detached garage building and the erection of

a two storey building, with a lower ground floor to be used as a private residential care home, with communal facilities and parking. The proposed building would be set back from the road frontage to provide car parking and to protect and retain the trees at the front of the site. Gaps would be retained to both flanks and a private garden retained at the rear.

- 4.2 The proposed new care home would be located over three floors with communal and servicing accommodation located at lower ground floor and ground floor level, including resident's lounges, a dining room, activity and sensory rooms and a residents' gym, as well as an office and meeting room. A total of 8 en-suite rooms would be provided for residents at ground and first floor levels together with a one bedroom flat for an on-site manager. The ground floor rooms would be fully DDA and Part M compliant and would be fully accessible to physically disable clients. A total of 6 parking spaces are provided, with 2 allocated to staff and 4 to visitors. In addition, a mini-bus space and turning area would also be provided.
- 4.3 The proposed building would be of a traditional design and with brick and render to the main elevations, and plain tiles to the pitched roof. Windows would be fabricated from anthracite grey uPVC or aluminium frames with grey uPVC Soffits and bargeboards.
- 4.4 The proposed development would be for a private specialist care home to provide residential care for people with learning disabilities, with mental health needs, addictions and some with physical disabilities. The applicants state that they can include children, younger adults or the elderly. The applicants in this case have pointed out that they operate Swallowfields Care Centre in Epsom which is registered for nine adults with learning disabilities and Burgh heath Care Centre which is registered for 6 adults.
- 4.5 The needs of the residents of the proposed care home would be met by between 4-6 staff on a rota, supported by a resident manager and a deputy manager based on a different site. The applicants state that the home would be serviced by one minibus to cater for the transport needs of the residents. The applicants also note that the majority, if not all of the users of the service provided by the applicants have family within the local area.
- 4.6 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.7 Evidence of the applicant's design approach is set out below:

Assessment	<p>The character of the surrounding area is assessed as a predominantly residential area, comprising of typically medium to large detached houses, with some semi-detached dwellings and a parade of shops within walking distance.</p> <p>The site is assessed as having good transport links with bus stops and two railway stations within walking distance.</p> <p>Site features meriting retention are listed as trees along the western boundary to Fir Tree Road.</p>
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The applicant's reasons for choosing the proposal from the available options were

4.5 Further details of the development are as follows:

Site area	0.134 ha
Existing use	Residential Class C3
Proposed use	Residential institution Class C2
Existing parking spaces	4
Proposed parking spaces	7
Parking standard	By individual assessment

5.0 Policy Context

5.1 Designation

Urban area

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS5 (Valued People/Economic Development),
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS12 (Infrastructure Delivery),
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)

DES7 (Specialist Accommodation)
DES8 (Construction Management)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE3 (Protecting trees, woodland areas and natural habitats)

5.4 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Vehicle and Cycle Parking

Guidance 2018

Other

Human Rights Act 1998

Community Infrastructure Levy

Regulations 2010

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.

6.2 The existing dwelling on the site is not listed nor is the site located in a conservation area. As such, the retention of the existing dwelling would not be warranted.

6.3 The main issues to consider are:

- Principle of the proposed use
- Design appraisal
- Neighbour amenity
- Highway matters
- Community Infrastructure Levy

Principle of Use as a Care Home

6.4 DMP Policy DES7 relates to specialist accommodation and encourages the provision of suitable accommodation for older people and for people with other support needs in locations that are easily accessible to shops, public transport, community facilities and services appropriate to the needs of intended occupiers. The policy also seeks to resist the loss of existing care homes, housing for older people and housing for people with support needs. The policy also states that developments should be of a high quality, including adequate amenity space and where appropriate should take into

consideration opportunities for sitting, socializing, gardening and active leisure pursuits.

- 6.5 The supporting text for the policy acknowledges that there is a range of housing types which are required to provide support for the elderly or for those in need of supported living. This includes care homes such as the current proposals which provide a residential setting where residents have their own bedrooms. Care homes provide a range of on-site care services, ranging from those which only offer personal care to those providing nursing care, and may be registered for specific needs (such as dementia).
- 6.6 The location of the application site for a care home is considered acceptable in this case. The site is located in a residential area which would be compatible to the use proposed. Other care home facilities operated by the applicants are also located in residential areas. The site also has good access to the local shopping facilities and to public transport. It is considered therefore that the use of the site for a residential care home would accord with DMP Policy DES7.

Design appraisal

- 6.7 This is a full application for the demolition of the existing house on the site and the erection of a part two and part three storey building to be used as a residential care home for 8 residents. The proposed building would be of a larger footprint than the existing dwelling on the site, with a wider and deeper floor layout, but would be of a similar height. Neighbouring properties in this part of Fir Tree Road are set on a staggered building line. As a result, the proposed building would be set in advance of the front elevation of its neighbour to the north, no. 284, but behind the front elevation of the dwelling to the south, no, 288.
- 6.8 The new building would be positioned centrally within the site with good separation retained to the side boundaries. To the south a gap of 5m would be retained between the two storey flank wall and the southern boundary. To the north a gap of 4m would be provided between the side elevation and the side boundary. The provision of the gaps would allow for meaningful landscaping to be provided to side boundaries. This would be subject to a condition in the event that planning permission is granted.
- 6.9 The proposed building would be set back from the street frontage with the existing trees and vegetation on the front boundary retained. The existing access point would be re-used. The retention of the tree screen would soften the impact of the proposed building from the front and maintain the character and appearance of the area. The Council's tree officer has reviewed the plans and comments only on the absence of the parking bays from the arboricultural reports. He is content that this information could be secured by condition in the event that planning permission is granted. It is also recommended that a landscape condition be imposed so that the visual appearance of the site is improved by the introduction of a variety of trees and shrubs.

- 6.10 The proposed building would appear as a two storey building at the front, whilst the basement would only be partially visible at the rear due to the loping nature of the site. The garden area at the rear of the site would provide a suitable area of amenity space for residents with a mixture of hard landscaping and soft planting, including a sensory garden. A landscaping condition for a planting scheme at the rear would allow for suitable planting on the site boundaries to soften the impact of the proposal when viewed from Mimosa Close to the east.
- 6.11 As noted above a mixture of brick and render would be used on the main elevations with clay tiles to the roof. Grey windows and doors with grey fascias soffits and bargeboards and rainwater goods would be acceptable with the mix of materials proposed and would provide an appropriate form of development for this residential area.
- 6.12 In light of these comments it is considered that the proposed building would be an acceptable addition to the street scene in Fir Tree Road and to the rear in Mimosa Close and would maintain the distinctive character of the area in accordance with DMP Policy DES1.

Neighbour amenity

- 6.13 The proposed development has been assessed with regards to its impact on the amenity of neighbouring properties. Objections have been expressed about the impact of the proposal on local residential amenities, as regards overdevelopment, overbearing effect and impacts with respect to overshadowing, overlooking and loss of privacy.
- 6.14 The nearest residential properties to the site are located to the north and side adjoining the side boundaries and to the rear in Mimosa Close. To the north of the site there would be a gap of approximately 4m to the site boundary and a gap of approximately 8m to the flank wall of the neighbouring property. Due to the staggered building line, the rear elevation of the proposed care home would not extend beyond the rear of the neighbouring property, whilst the front elevation would be advanced of this property. Given the space available for landscaping on the side boundary, it is not considered that the proposals would adversely impact on the amenities of no. 284.
- 6.15 To the south, there would be gap of 5m to the boundary and a distance of approximately 9m to the flank wall of the neighbouring property, no. 288, Fir Tree Road. With the staggered building line, the front elevation would be located behind the front of the neighbouring property, whilst the rear would extend further into the rear garden. The submitted plans show that the rear corner of the new building would not cut a 45 degree drawn from the centre of the nearest window in the rear elevation of the neighbouring property. The separation distance and the proposed landscaping would soften the impact of the proposed building and would not lead to an overbearing impact. Window sin the side elevations of the proposed building would be obscure glazed and

as a result, it is not considered that the amenities of the neighbouring occupiers would be adversely affected.

- 6.16 To the east of the site is Mimosa Close. This is a relatively recent development of two storey detached dwellings set in land which was formerly part of the rear gardens of properties in Fir Tree Road. The rear elevation of the proposed care home would be some 33m away from the front elevations of the nearest properties in Mimosa Close, albeit raised above the highway level due to the sloping ground. The separation between building and the provision of landscaping within the site would prevent significant overlooking or a loss of privacy between the neighbouring properties.
- 6.17 It is considered therefore, that the proposed scheme would not unacceptably affect the amenity of neighbouring properties and complies with DMP policy DES1.

Highway matters

- 6.18 The proposal seeks to re-use the existing access point from Fir Tree Road and would provide 2 car parking spaces for staff and 4 spaces for visitors, together with a dedicated space for a minibus. The Council's adopted car parking standards state that an individual assessment would be carried out for residential care homes within Use Class C2. The applicants note that none of the residents of the care home would own a car and would rely on the mini-bus provided for all of their trips away from the site. There would be an on-site manager who would live-in and would use one of the car parking spaces. Other staff would be encouraged to use public transport or car share with colleagues.
- 6.19 The County Highways Authority are aware that a number of amendments have been made in this revised application and welcome the removal of the access gate and revised car parking layout. The updated swept path analysis information as submitted in February 2020 (ref: 19-281 219) has also been reviewed and the CHA note that vehicle tracking 1 and 3 highlight that a mini-bus would not be able to access the site should the blue-badge bay be occupied. However, they consider that the site car park layout could be amended to address this issue and has recommended a condition be imposed that seeks a revised scheme to be submitted to remove this conflict and enable a mini-bus/service vehicle to safely enter and exit in forwards gear, without conflict.

Community Infrastructure Levy (CIL)

- 6.20 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development, which is for a Use Class C2 residential institution, would not be CIL liable.

Other Issues

- 6.21 The proposed development would include the provision of an array of solar panels on the roof of the proposed building together with other measures to improve the thermal efficiency of the building. Further details of the sustainability measures could be secured by condition.
- 6.22 The site is not in an area at risk of flooding and falls within Flood Zone 1 according to the Environment Agency flood mapping.
- 6.23 The application has been reviewed by the Council's Contaminated Land Officer who has recommended that a condition be imposed which would require confirmation that the building was built post-2000, or that an asbestos survey is provided prior to any demolition or refurbishment
- 6.24 Objection was raised on the grounds of inconvenience during the construction period. Whilst it is acknowledged there may be a degree of disruption during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant disturbance caused during the construction of the proposal. A construction method statement would be secured by planning condition.
- 6.25 Noise and disturbance resulting from the development when completed would be acceptable and accord with normal residential environments whilst any resulting from construction would be temporary and could be mitigated by condition. The development proposes the use of the existing access and the additional movements generated by one net dwelling are not considered likely to cause undue noise and disturbance.
- 6.26 Objection has also been raised on the grounds of the loss of a view and the loss of value in properties. Neither of these issues are considered to be relevant to planning and are not therefore taken into account.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	19-281-200	B	23/12/2019
Proposed site layout	19-281-201	C	23/12/2019
Proposed ground floor	19-281-202	C	23/12/2019
Proposed first floor	19-281-203	C	23/12/2019

Proposed second floor	19-281-204	C	23/12/2019
Proposed roof plan	19-281-205	C	23/12/2019
Proposed elevation 1	19-281-206	C	23/12/2019
Proposed elevation 2	19-281-207	C	23/12/2019
Proposed elevation 3	19-281-208	C	23/12/2019
Proposed elevation 4	19-281-209	C	23/12/2019
Proposed elevations colour	19-281-210	B	23/12/2019
Existing site layout	19-281-211		23/12/2019
Existing ground floor	19-281-212		23/12/2019
Existing first floor	19-281-213		23/12/2019
Existing second/roof plan	19-281-214		23/12/2019
Existing elevations 1	19-281-215		23/12/2019
Existing elevations 2	19-281-216		23/12/2019
Context elevations	19-281-216	B	23/12/2019
Vehicle tracking	19-281-217		23/12/2019
Vehicle tracking 2	19-281-219		27/02/2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. No development shall take place above ground level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

5. No development shall commence including demolition and or groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a pre-start meeting, supervisory regime

for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies DES1 and NHE3 of the Reigate and Banstead Development Management Plan 2019.

6. No development above ground level shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE3.

7. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) HGV deliveries and hours of operation
 - (g) measures to prevent the deposit of materials on the highway
 - (h) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (i) on-site turning for construction vehicles
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policies DES1 and TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

8. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for vehicles to be parked and for the a single mini-bus/service vehicle may enter and leave the site in forward gear. Thereafter the parking / turning area shall be retained and maintained for their designated purpose

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

9. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

10. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

11. The first floor windows in the northern and southern elevations of the development hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level and shall be maintained as such at all times.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

13. The development hereby approved shall not be occupied unless and until at least one of the available parking spaces are provided with a fast charge socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

14. The development hereby approved shall not be first opened for trading unless and until a pedestrian inter-visibility splay measuring 2m by 2m has been provided on each side of the access to , the depth measured from the back of the footway (or verge) and the widths outwards from the edges of the access. No obstruction to visibility between 0.6m and 2m in height above ground level shall be erected within the area of such splays

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

15. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
 - a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. The Council's Neighbourhood Services team can be contacted on 01737 276292 or via the Council's website at http://www.reigate-banstead.gov.uk/info/20085/planning_applications/147/recycling_and_waste_developers_guidance
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

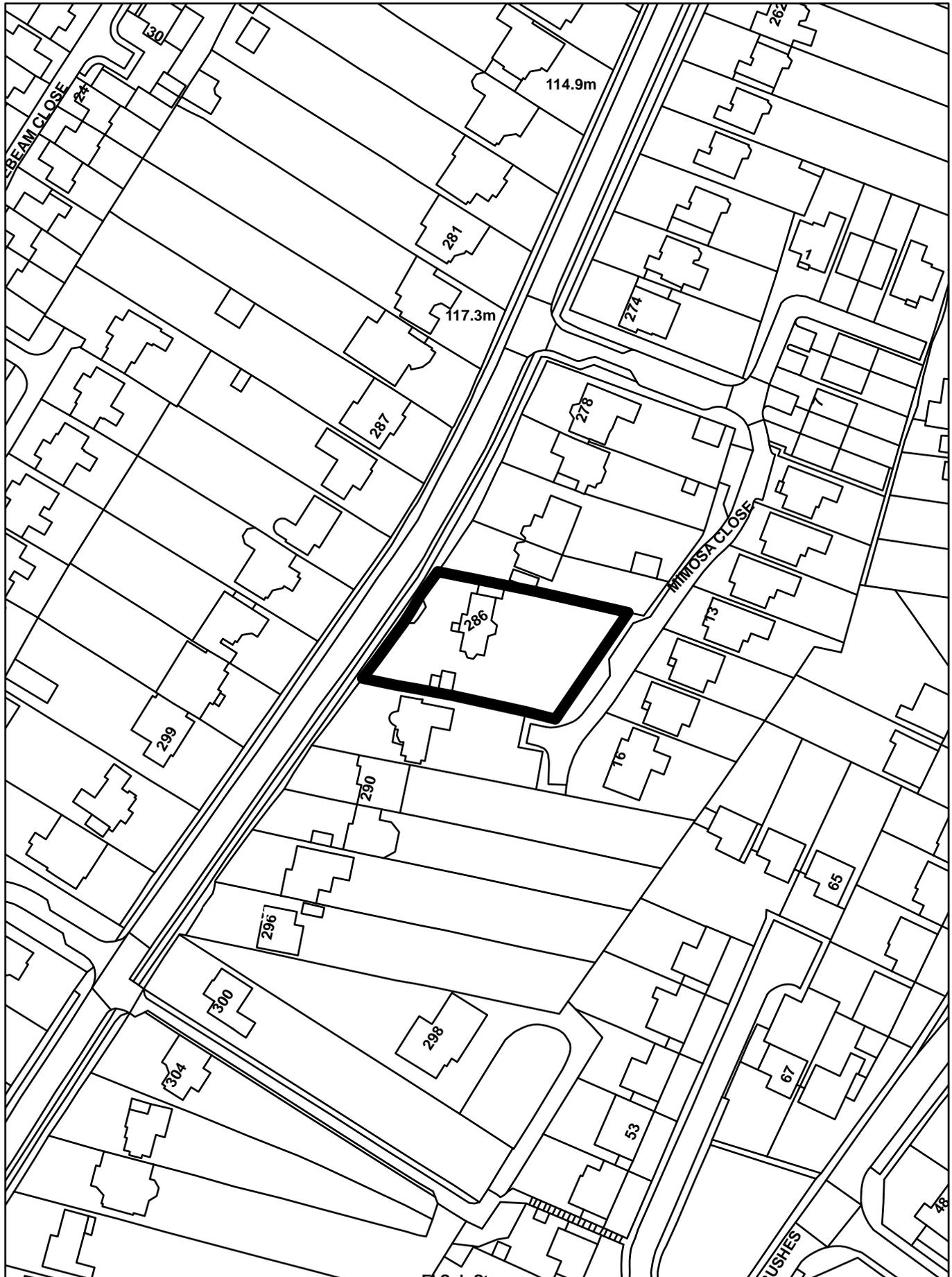
5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
6. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837
7. The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality.
8. The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.
9. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.
10. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS5, CS10, CS11, CS12, CS17, DES1, DES7, DES8, TAP1, CCF1, NHE3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

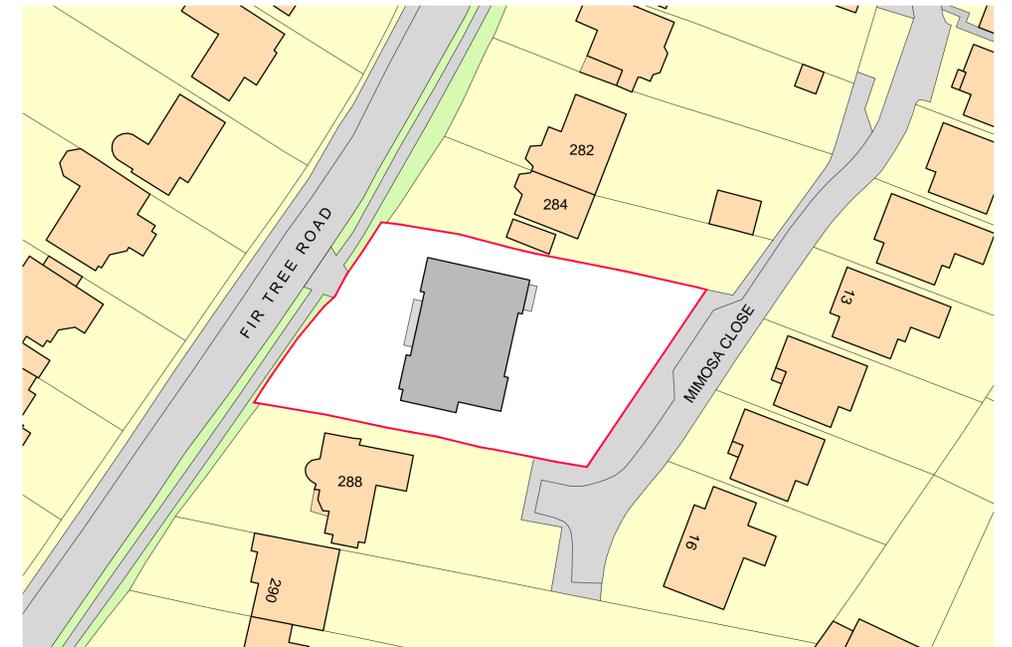
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

19/02572/F - Tanglewood House, 286 Fir Tree Road,
Epsom Downs





Proposed Site Plan 1:200 Scale 0 2 4 6 8 10 12 14 16 18 20
1 Metre Scale Bar 1:200



Block Plan 1:500 Scale 0 5M 10 15 20 25 30 35 40
1 Metre Scale Bar 1:500



Location Plan 1:1250 Scale



North Up The Page - All Ordnance Survey Plans
Application Site Outlined in Red
Proposed Building shown Solid Grey Hatched,
Existing Building to be Demolished shown as Red Dashed Lines.

PROJECT
Proposed Redvempment
Tanglewood House, 286 Fir Tree Road
Epsom KT17 3NN

TITLE
Proposed Site, Block & Location Plans

Project number	Drawing number	Revision
19-281	200	B
Scale	Drawn by	Date
As Noted @A1	SV	05-12-19

REVISIONS		
A	10-12-19	Updated to Client Comments
B	16-12-19	Updated to Client Comments

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SHEET SIZE - A1

STATUS - Feasibility / Planning

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No. 284

No. 286

No. 288

Approximate Level Indicated on Fir Tree Road - Tree Cover Indicative only

Existing Context Elevation 1:100 Scale



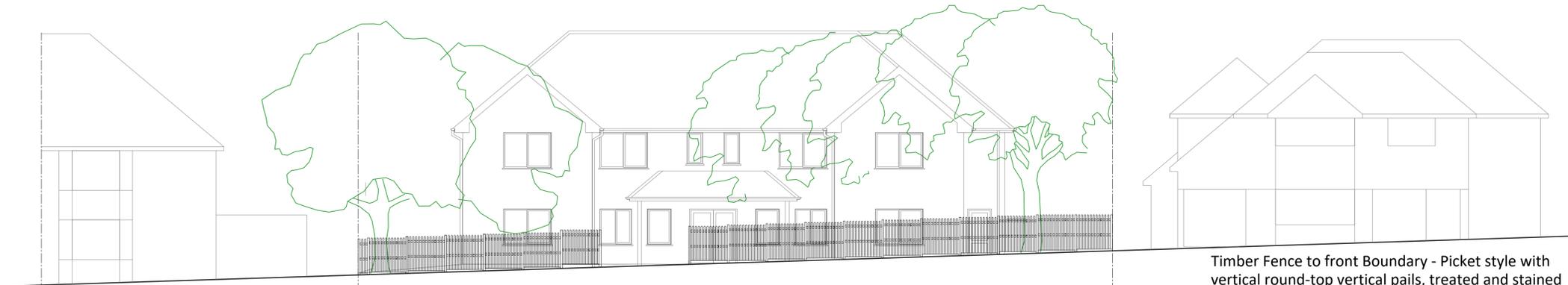
No. 284

No. 286

No. 288

Approximate Level Indicated on Fir Tree Road - Tree Cover Indicative only

Proposed Context Elevation 1:100 Scale



Proposed Context Elevation - Showing Timber Picket Fence to Front Boundary 1:100 Scale

Timber Fence to front Boundary - Picket style with vertical round-top vertical rails, treated and stained dark brown, stepped to suit sloping ground level, maximum height 1500 above local sloping ground level.

0 1 2 3 4 5 6 7 8 9 10 1 Metre Scale Bar 1:100

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Street Context Elevations - West Existing & Proposed
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	217	C
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 16-12-19 Updated to Client Comments
C 20-12-19 Updated to Client Comments

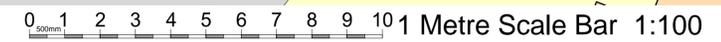
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Proposed Plot Plan 1:100 Scale



PROJECT
Proposed Redvelopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Plot Plan
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	201	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
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C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC LENSES TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Side - North Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvemopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Elevation - Side - North
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	208	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC LENSES TO SUN TUNNELS.
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- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Fair-Faced Brickwork to return 600 to Flank Wall

Window to Half Landing of Stair - Obscured Glazing

Louvred Door to Refuse Store

Proposed Side - South Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvemopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Elevation - Side - South
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	209	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE, TO QUOINS OF FRONT GABLES & TO RETURNS WITH 'CORNISH CREAM' THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC DOMED COVERS TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Front - West Elevation 1:50 Scale
Indicative External Material Colours



Proposed Rear - East Elevation 1:50 Scale
Indicative External Material Colours

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Elevations - Front, West & Rear, East Indicative External Material Colours
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	210	B
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 16-12-19 Updated to Client Comments

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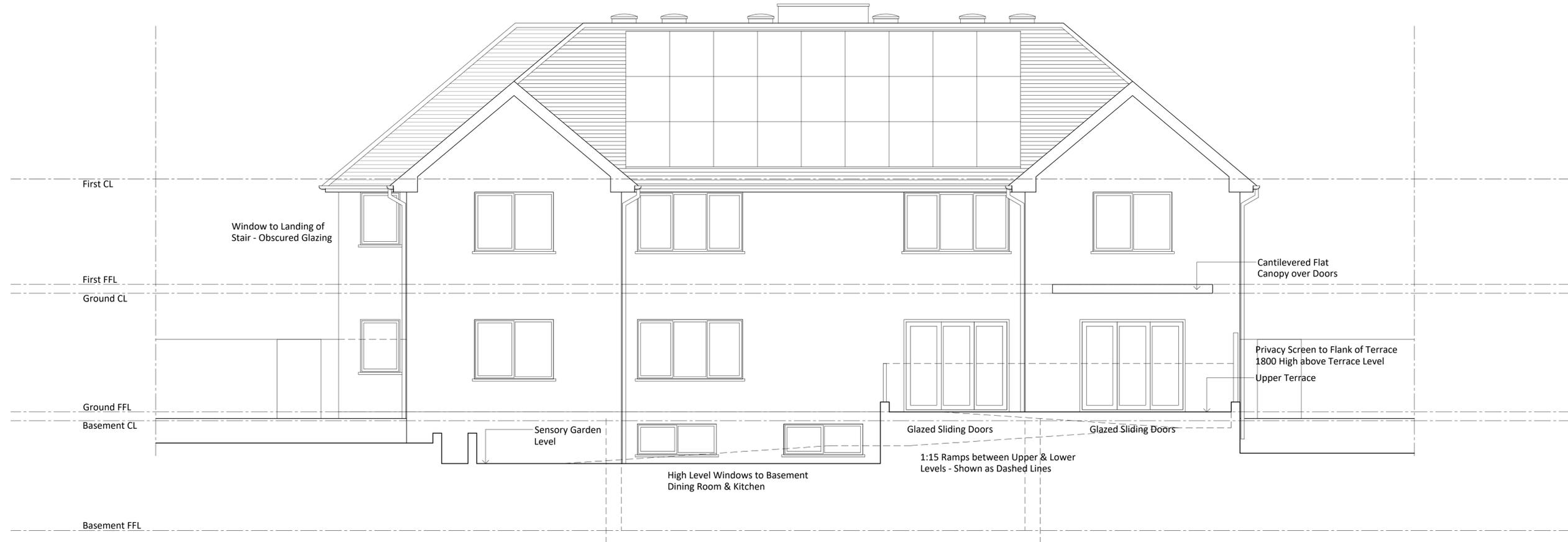
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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
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- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES

27 no. Panel Array of Photovoltaic Roof Mounted Panels, each circa 1600 long x 1000 wide, each providing 0.25kw.
Array to provide circa 6.75kw of Renewable Energy.



Proposed Rear - East Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Elevation - Rear - East
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	207	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
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- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Front - West Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
 Proposed Redvemopment
 Tanglewood House, 286 Fir Tree Road
 Epsom KT17 3NN

TITLE
 Proposed Elevation - Front - West

Project number	Drawing number	Revision
19-281	206	C
Scale	Drawn by	Date
As Noted @A1	SV	05-12-19

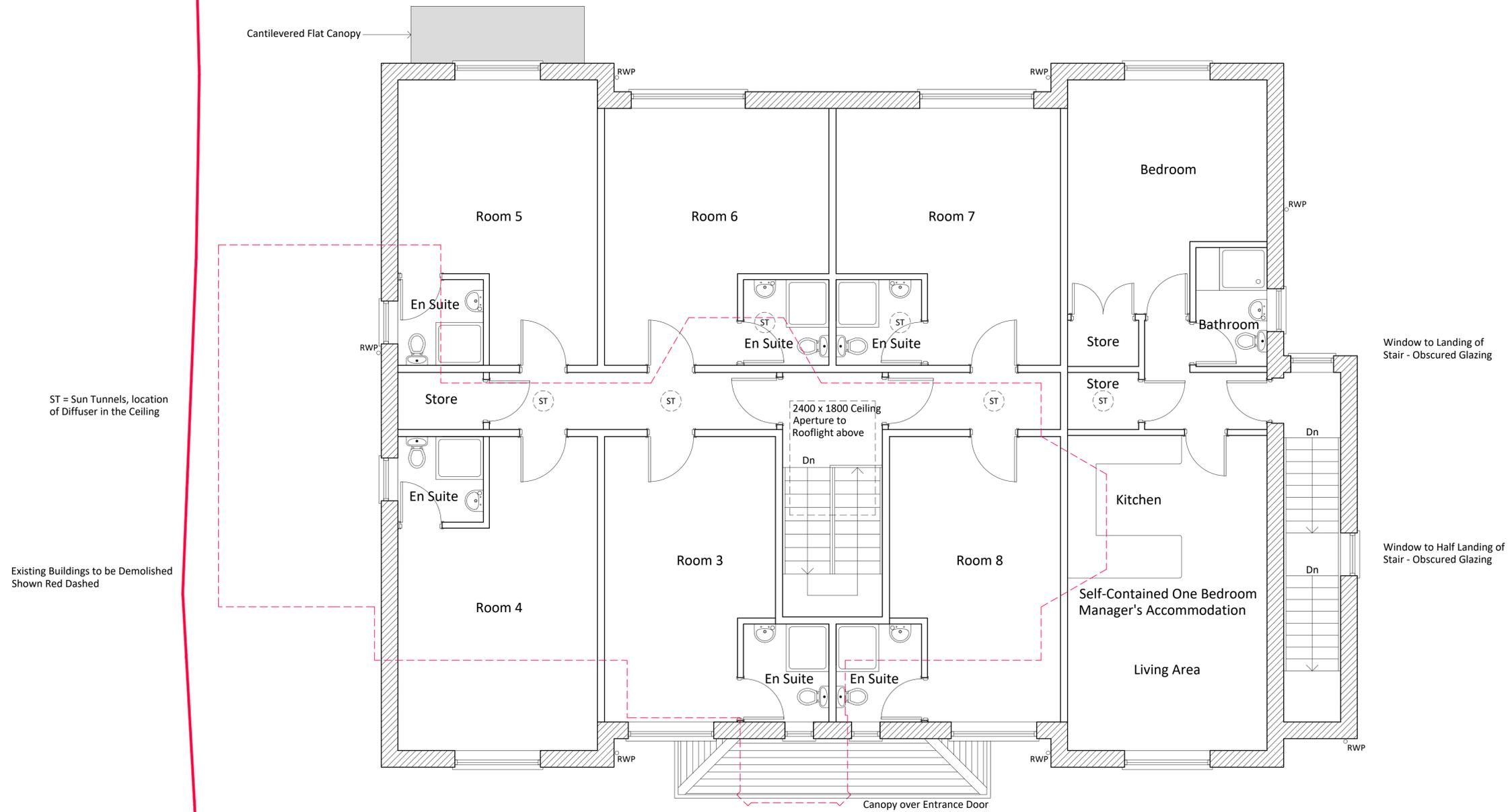
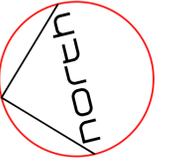
REVISIONS		
A	10-12-19	Updated to Client Comments
B	13-12-19	Updated to Client Comments
C	16-12-19	Updated to Client Comments

Sheet size - A1

STATUS - Feasibility / Planning

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Proposed First Floor Plan 1:50 Scale



PROJECT
 Proposed Redvempment
 Tanglewood House, 286 Fir Tree Road
 Epsom KT17 3NN

TITLE
 Proposed First Floor Plan

Project number	Drawing number	REVISION
19-281	203	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS		
A	10-12-19	Updated to Client Comments
B	13-12-19	Updated to Client Comments
C	16-12-19	Updated to Client Comments

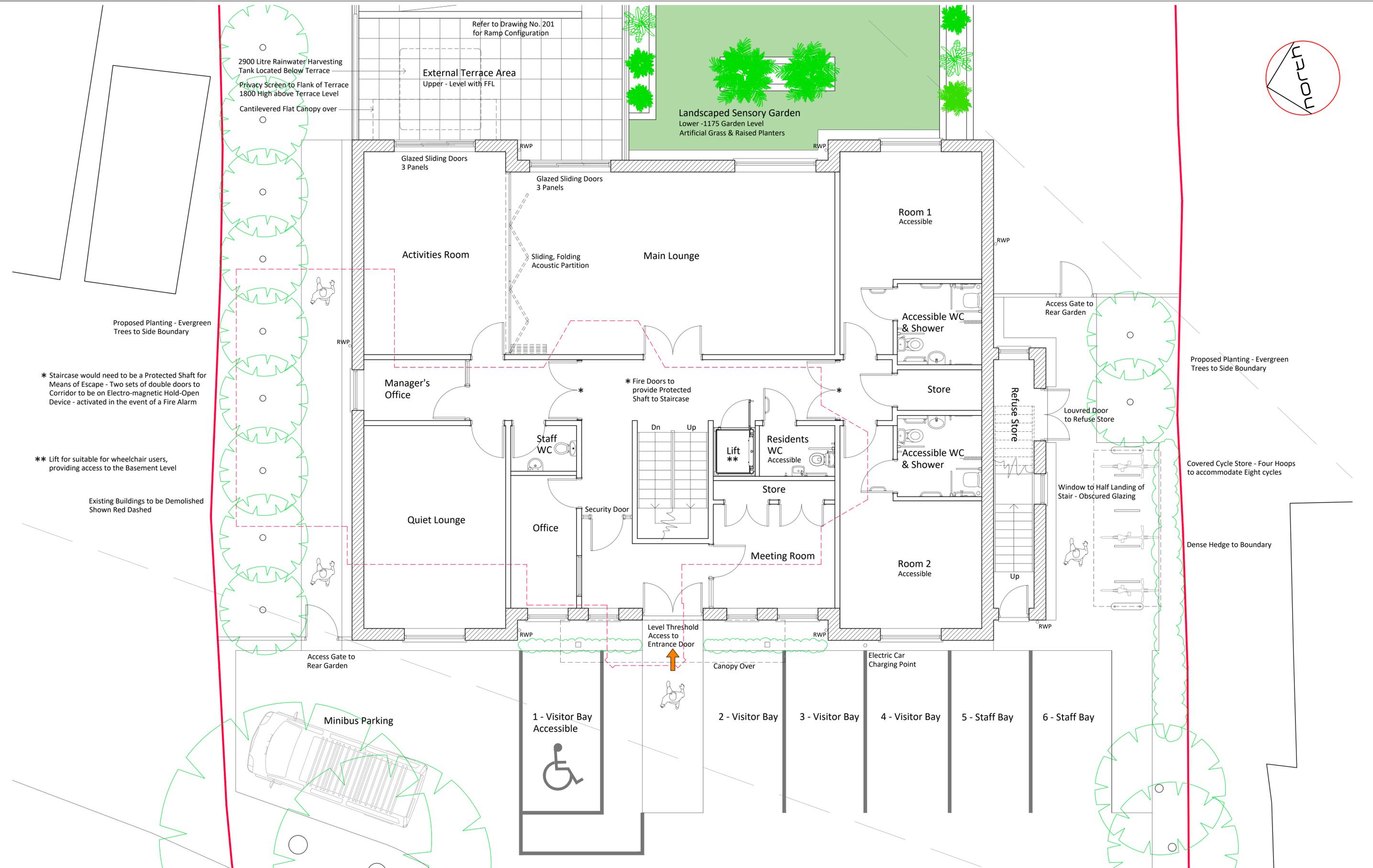
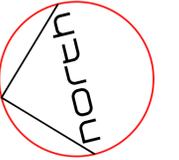
SHEET SIZE - A1

STATUS - Feasibility / Planning

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Proposed Ground Floor Plan 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Ground Floor Plan
STATUS -
Feasibility / Planning

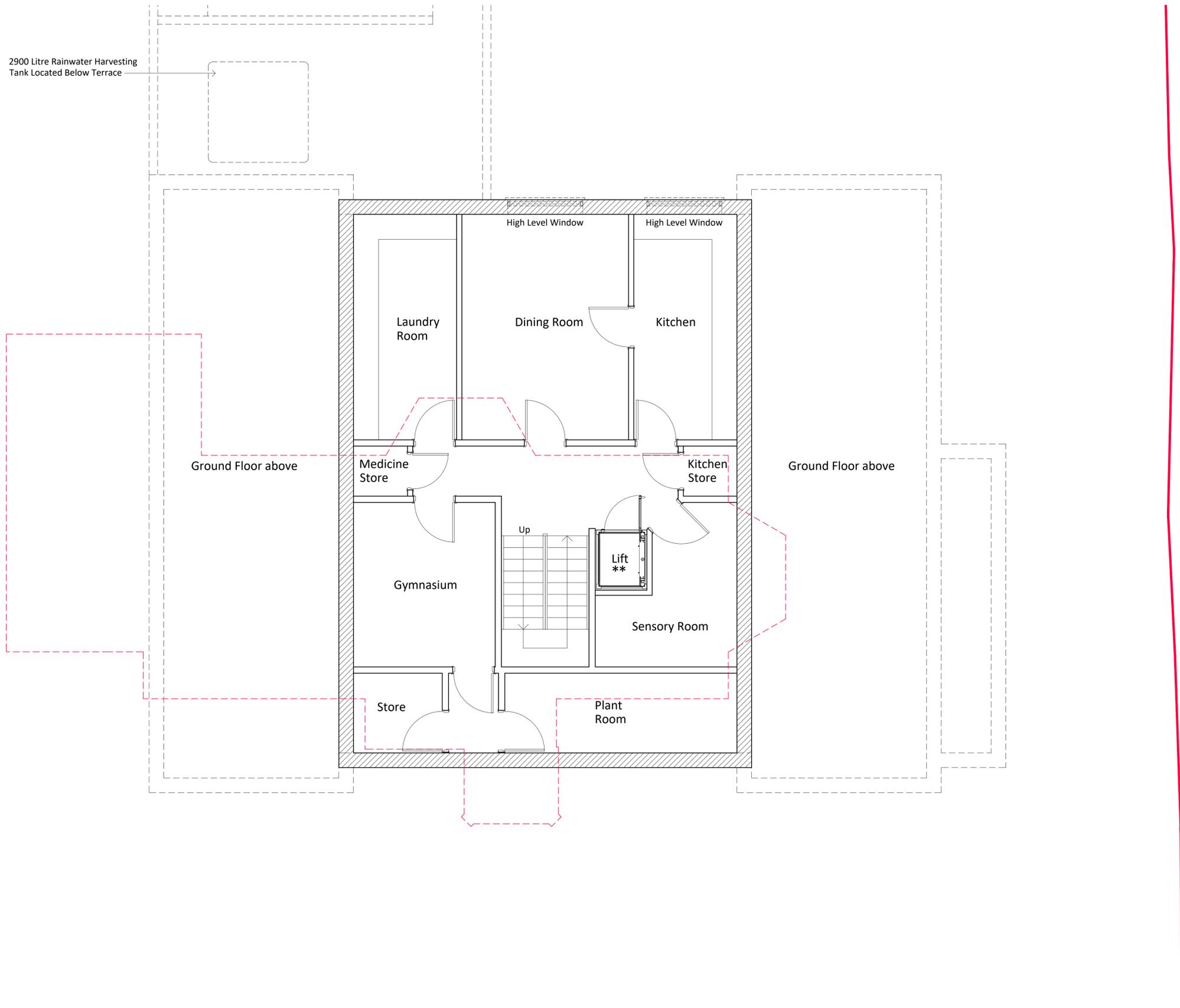
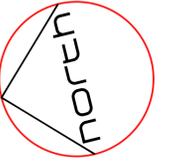
Project number	Drawing number	REVISION
19-281	202	C
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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** Lift for suitable for wheelchair users, providing access to the Ground Floor Level

Existing Buildings to be Demolished Shown Red Dashed

2900 Litre Rainwater Harvesting Tank Located Below Terrace

Proposed Basement Floor Plan 1:50 Scale



PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Basement Floor Plan
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	204	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
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